Hayes Valley Parking Management

HVNA Transportation & Planning Committee

December 7, 2020

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Meeting Objectives

- Describe plan components
- Receive feedback on plan, identify potential concerns or issues
- Discuss options for further outreach
- Agreement to move forward with next steps

Purpose

- Implement Market/Octavia plan

- Sustainability goals that require reduced vehicle use

- Existing city and neighborhood policies that encourage alternative/active transportation

- Continued new development and population growth increases pressure on existing curb; very high parking occupancy rates

- Mixed uses (residential & commercial) requires parking management that offers more flexibility

- Increased requests for RPP Area expansion

Planning Timeline

- Working Group meetings:
  - 11/14/18
  - 2/19/19
  - 7/22/19
  - 3/4/20
  - 8/5/20
- T & P meeting:
  - 4/22/19
- Outreach
  - Project Website: August '19
  - MetroQuest Survey: November '19

Public outreach

- In fall 2019, SFMTA posted a MetroQuest survey on the Hayes Valley Parking project website, www.sfmta.com/hayesvalleyparking to solicit input from a broad base of residents and businesses.
  - 7,282 postcards mailed with link to Hayes Valley MetroQuest survey
  - 504 participants
    - 5959 data points
    - 782 comments
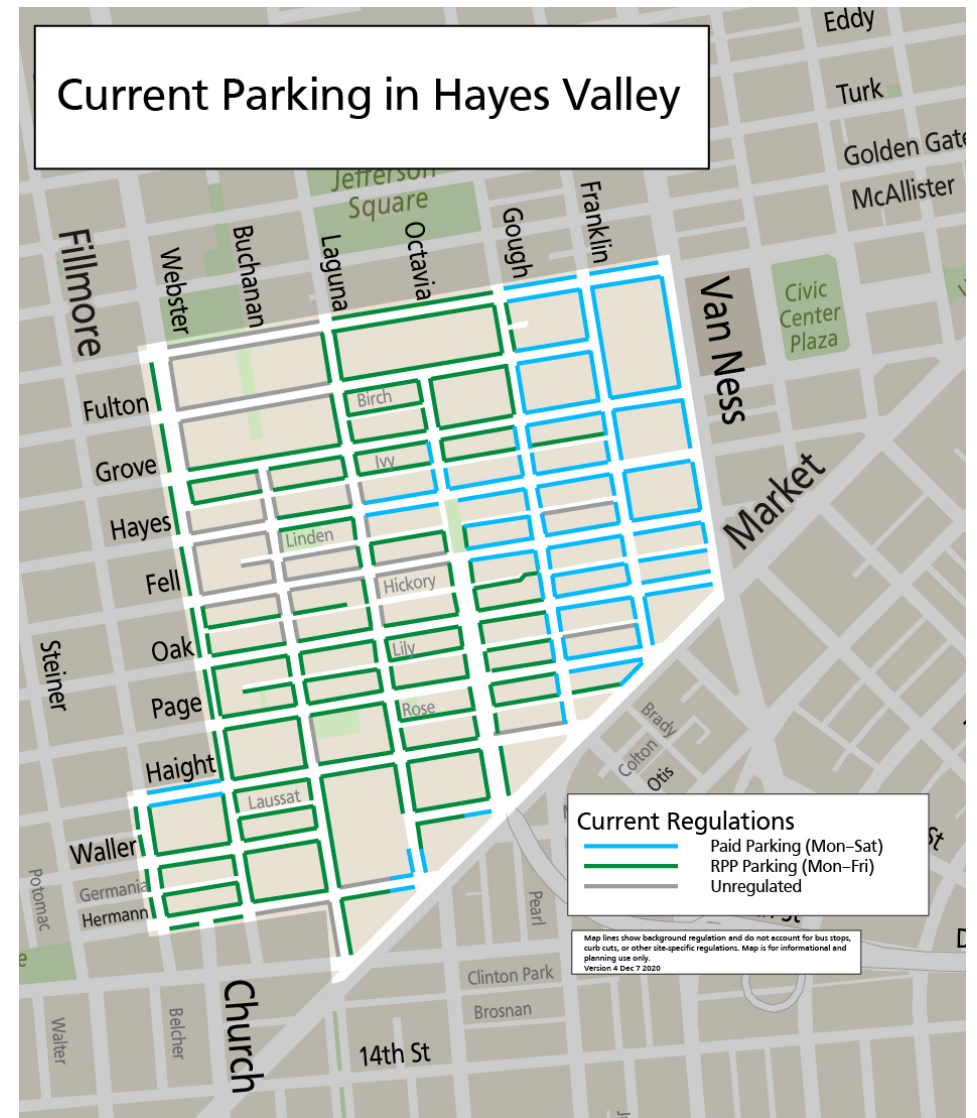 - Detailed results posted on project website: www.sfmta.com/hayesvalleyparking

Existing conditions

▶ Households

▶ Parking supply

▶ RPP permits issued

▶ Parking occupancy

▶ Proportion of parked vehicles with permits

▶ Turnover rates

Parking Supply	RPP	Meter	Pay/ Permit	Un- managed
Current	1,341	643	0	497
Total spaces: 2,481				

Source: SFMTA parking census and meter drawings; all numbers are estimates

Current Parking in Hayes Valley

Current Regulations
- Paid Parking (Mon–Sat)
- RPP Parking (Mon–Fri)
- Unregulated

Map lines show background regulation and do not account for bus stops, curb cuts, or other site-specific regulations. Map is for informational and planning use only.
Version 4 Dec 7 2020

Households and permits

Households (Est.)

Geography	Households
Hayes Valley	5870
Current RPP Areas	4417
Source: City Planning Department	

Permits Issued

Area	Permits	Saturation
Current RPP Areas	964	72%
Source: eTIMS, 12/6/2020		

* Less than 22% of eligible households obtain permits

High parking occupancy low permit use

	6:00 AM Occupancy	% Permit	10:00 AM Occupancy	% Permit	2:00 PM Occupancy	% Permit	8:00 PM Occupancy	% Permit
RPP block faces (31)	97%	45%	91%	34%	106%	42%	97%	38%
Unmanaged block faces (7)	76%	14%	92%	13%	111%	21%	84%	15%

Note: Observations pertain to blocks proposed for Pay or Permit only. See slide 15.
Source: SFMTA, 2020; Kittelson & Associates; 2019. Observations taken in March 2019 and October 2020

Parking turnover

	6:00 AM-10:00 AM Retention	All-day Retention	6:00 AM-10:00 AM Turnover	All-day Turnover
RPP block faces (31)	0.57	0.26	0.43	0.74
Un-managed block faces (7)	0.58	0.25	0.42	0.75

Note: Observations are of blocks proposed for Pay or Permit only. See slide 15.
Source: SFMTA, 2020; Kittelson & Associates; 2019. Observations taken in March 2019 and October 2020.

RPP v Pay or Permit

Residential Permit Parking

- Limits free parking to 2 hours
- Residents w/permits exempt
- Typically enforced 8AM-6PM
- Renewed annually
- 1-day permits for visitors

Pay or Permit Parking (new)

- No time limits; pay for needed time
- Residents w/permits exempt
- Pay by phone/card/coin
- No need for 1-day permits for visitors
- Provides greatest flexibility
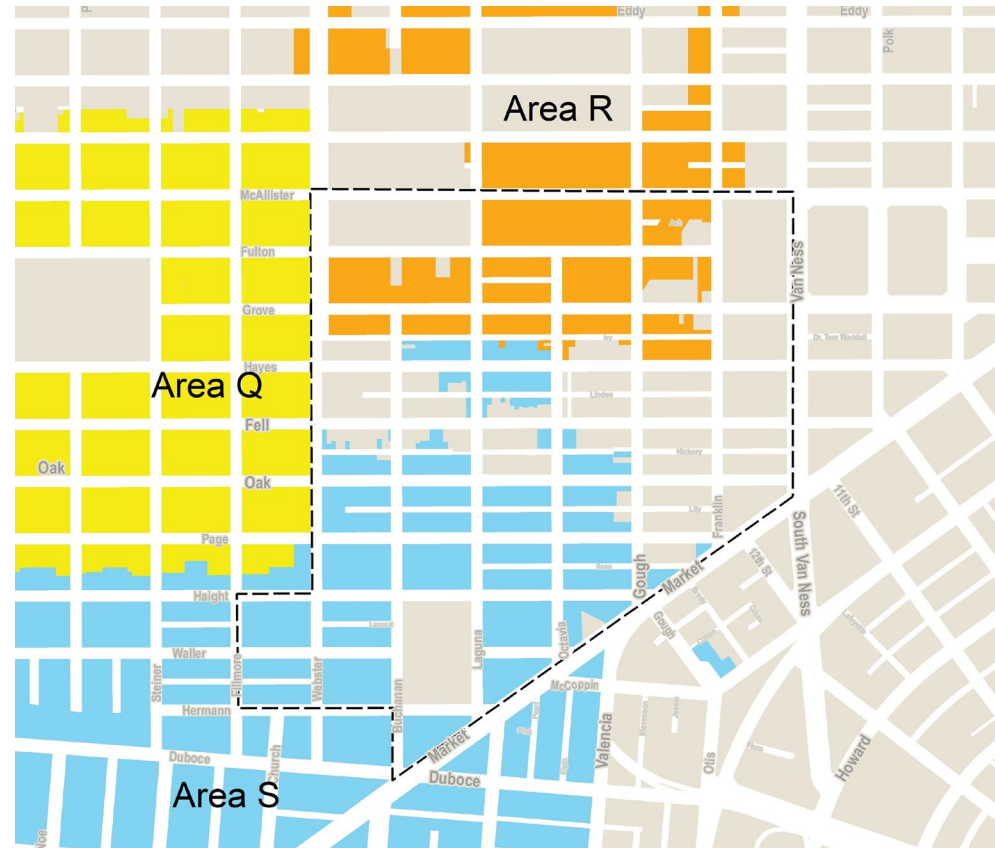
Proposed RPP Modifications

- Create new RPP Area
  - Generally bounded by McAllister, Market, Franklin and Webster
  - Combine parts of Area S and Area R
  - Establish consistent hours & days of enforcement
  - Ensures everyone has equal access to RPP, newcomers treated equal to existing residents
- All residents limited to one permit per address

Existing RPP Area boundaries

Significant holes in eligibility; not all residents are eligible for the benefit

Neighborhood is divided into two RPP Areas

Most of Hayes Valley is part of Area S, the largest RPP Area in the city enabling intra-area commuting
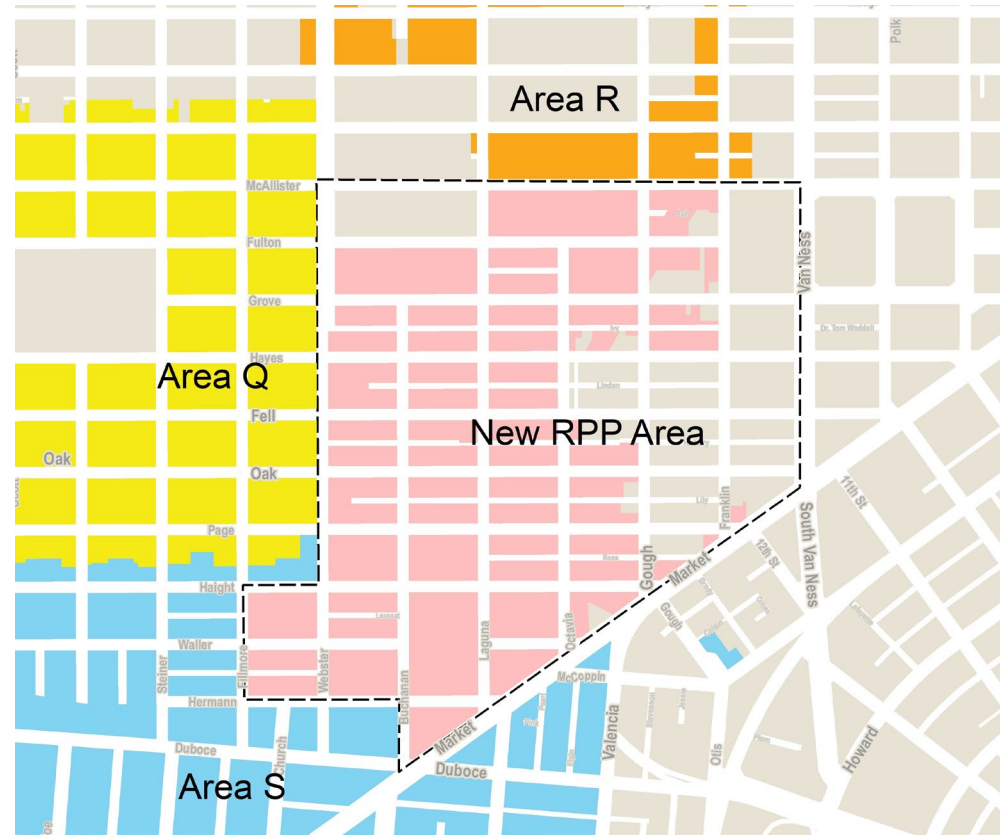
New RPP Area

Generally bounded by McAllister, Market, Franklin and Webster

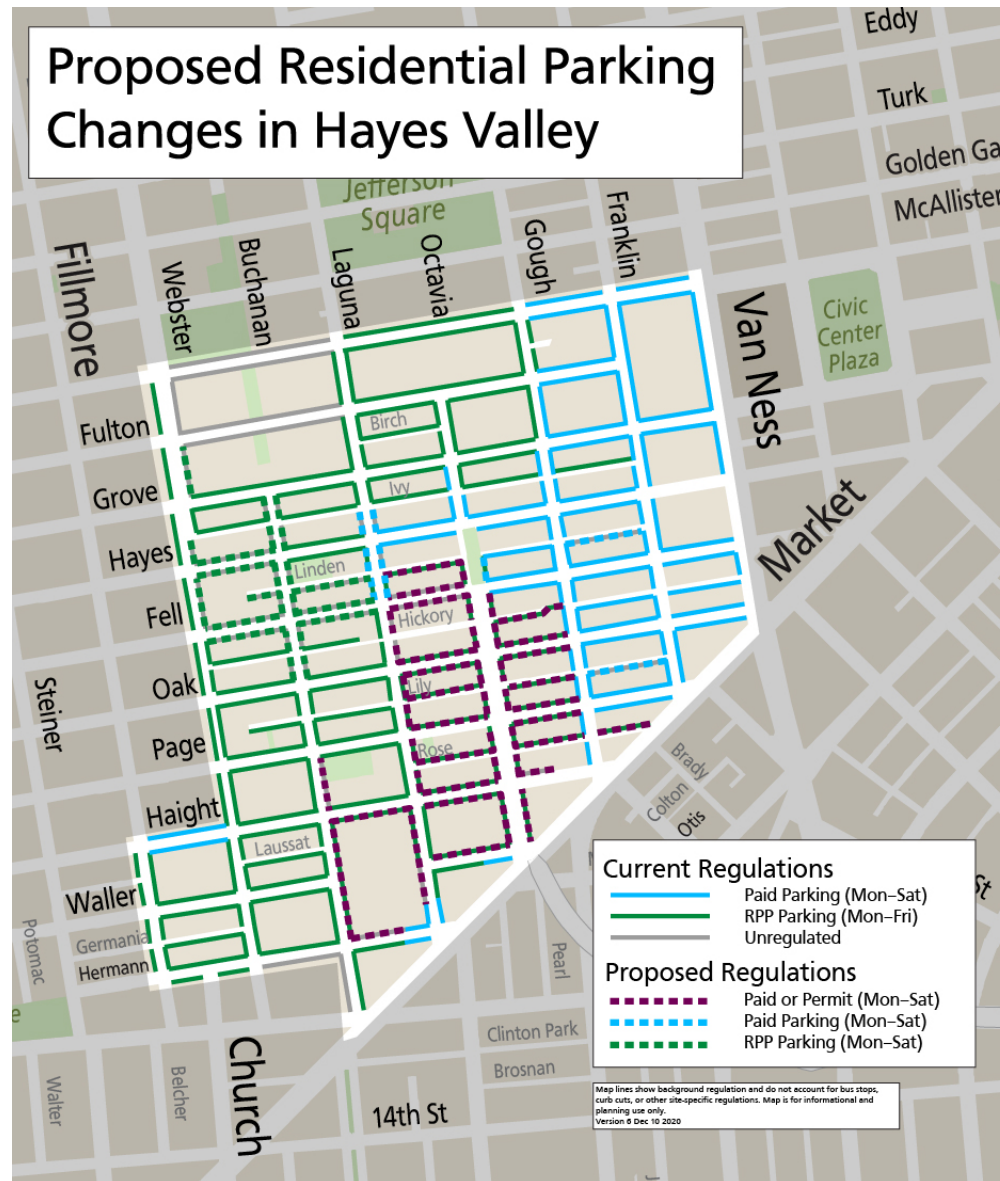Combine parts of Areas S and R

Establish consistent hours & days of enforcement

Ensures everyone has equal access to RPP, newcomers treated equal to existing residents

All residents limited to one permit per address

The Plan

Proposed Residential Parking Changes in Hayes Valley

Summary of on-street changes

▶ Most block faces have no change, stay RPP

▶ About 31 block faces converted from RPP to Pay or Permit (about 280 spaces)

▶ 23 unmanaged block faces converted to:

    ▶ RPP (15) from Fell to Grove, west of Laguna

    ▶ Metered (5)

    ▶ Pay or Permit (3)

Changes: households and permits

Households (Est.)

Geography	Households
Hayes Valley	5870
Current RPP Areas	4417
New RPP Area	4800
Source: City Planning Department	

Permits Issued

Area	Permits	Saturation
Current RPP Areas	964	72%
Future RPP Area	1056	69%
Source: eTIMS, 12/6/2020		

* Less than 22% of eligible households obtain permits

Current and proposed parking supply

Parking Supply	RPP	Meter	Pay/Permit	Unmanaged
Current	1,341	643	0	497
Proposed	1,162	706	436	177
Difference	-179	+63	+436	-320

Source: SFMTA parking census and meter drawings; all numbers are approximate

www.sfmta.com/hayesvalleyparking

Hayes Street curb management changes

▶ Proposals for three blocks—300, 400, & 500 block of Hayes Street—were presented to working group in March and T & P Committee December 7th

▶ Outreach to merchants in progress

▶ Plan to present these proposed changes at the same time as those for Pay or Permit though commercial and passenger loading zones can be considered at any time on an as-needed basis

▶ Hayes Street loading zones and other curb changes delayed due to Shared Spaces program and partial street closure; Shared Spaces program could end June 30, 2021, unless extended

▶ Unclear when/if Bus #21 service will resume; depends on funding

Timeline

Complete public outreach	Process legislation	Implementation
Dec '20 – Mar '21	Mar '21 – Jul '21	Sep '21 – May '22

Next Steps

Post parking management plan on project website and HVNA website

Schedule HVNA member/community meeting to obtain feedback on plan

Make necessary revisions based on input

Schedule Public Hearing and notify all residents/businesses within and near plan area

Prepare for SFMTA Board Meeting

Questions?